

PLANNING COMMISSION

August 28, 2025

OLD BUSINESS
NONE

The background features abstract, overlapping green geometric shapes, primarily triangles and polygons, in various shades of green, creating a modern and dynamic visual effect.

NEW BUSINESS

Legislative Decision

A. Rezoning_128 Dover St

SITE DATA

1. Address: 128 Dover St.
2. Tax Map 079L Group C Parcel 024.00
3. Current Zoning: C-2
4. Target Zoning: R-3
5. Total Land Area: +/- 0.93 ac.
5. Compatible with Mixed Density Residential Character Area (Comprehensive Plan)
6. Compatible Corridor Study and Corridor Access Management Agreement ("CAMA")
7. Public Infrastructure and Services currently available and will be at time of Occupancy

PROPERTY OWNER / REPRESENTATIVE

Shannon Lee Harris

REQUEST

Rezone 0.93 ac. Parcel to R-3, Medium Density Residential, to construct a Single Family Dwelling



A. Rezoning_128 Dover St

CRITERIA FOR PLANNING COMMISSION RECOMMENDATION AND STAFF FINDINGS.

- Proposed rezoning consistent with intent, goals, and development policies, guiding principles of adopted plans
- Is proposed use compatible with the zoning ordinance. .
- Is proposed change compatible with the neighboring land uses development.
- Are there substantial adverse impacts from the proposed use and are there methods to mitigate adverse impacts.
- Are there conflicts, incompatibility, or inconsistencies with the adopted plans, policies, and maps that may require future amendment and improvement.

A. Rezoning_128 Dover St

ACTION BY PLANNING COMMISSION.

Based on Staff review of the Application to rezone 0.93 ac. parcel addressed as 128 Dover St. and identified in Bedford County, Tennessee tax records as Tax Map 079L Group C Parcel 024.00, owned by Shannon Lee Harris in accordance with Deed Book 359 Page 243, from Commercial-2 (C-2, General Business) to Residential-3 (R-3, Medium Density Residential), for the purpose of single family land use development, Staff finds the following.

- Rezoning to R-3 is consistent with the intent, goals, policies, and guiding principles of adopted plans (*Future Land Use Map, Major Thoroughfare Plan, General Plan, Greenway Master Plan, Corridor Studies, etc.*).
- Rezoning to R-3 and proposed development of a single-family development will not contravene the current zoning regulations and is compatible with the neighborhood land uses, thereby not requiring any type of mitigation for the development. The existing accessory structure will be made conforming when the principal is built.
- Rezoning the R-3 and proposed development of a single-family development will not create a substantial change or increase in adverse impacts, such as noise, pollution, traffic, etc.

A. Rezoning_128 Dover St

Procedural Notification.

- Planning Commission review 08/28/2025.
- City Council Study Session on 09/02/2025.
- City Council Regular Meeting for review and approval of 1st Reading on 09/11/2025.
- If approved at 1st Reading, City Council Regular Meeting Public Hearing, review and adoption at 2nd and Final Reading on 10/09/2025.

A. Rezoning_128 Dover St



Total Acreage:

- 0.93 ac (40,510.8 sf)

Existing Land Use:

- Vacant
- Nonconforming accessory

Adjacent Zoning:

- C-2, surrounding

Adjacent Land Use:

- Residential surrounding

A. Rezoning_128 Dover St

[PUBLIC]

MIXED RESIDENTIAL CHARACTER AREA



- R-3 IS APPROPRIATE FUTURE USE
- INFRASTRUCTURE AND SERVICES SHOULD BE CONDITION OF APPROVALS

A. Rezoning_128 Dover St

CURRENT ZONING



- Dover St.. Is functionally classified as a Local Road
- US41A (Union St.) is functionally classified as Minor Arterial and part of the US Hwy System

BULK REGULATIONS (C-2 AND R-3)

Bulk Regulations Comparison	C-2, General Business	R-3, Medium Density Residential	
Min. Lot Size	None	7,500 sf SFD	15,000 sf Duplex
Max. Lot Size	None	No limit	
		25ft SFD	40ft Duplex
Min. Lot Width @ Setback	None	75ft Road	50ft Cul-de-sac
Min. Front Yard Setback	35ft	60ft	
Min. Side Yard Setback	None	10ft SFD	12ft Duplex
Min. Rear Yard Setback	20ft	20ft SFD and Duplex	
Min. Side Yard Adj. Residential	10ft	10ft SFD	12ft Duplex
Min. Street Frontage	75ft	75ft SFD and Duplex	
Min. Street Frontage @ Cul de sac	35ft	25ft SFD and Duplex	
Max. Building Height	75ft	45ft SFD	45ft Duplex
Max. Building Lot Coverage	None	35% SFD	35% Duplex

A. Rezoning_128 Dover St

EXISTING NEIGHBORHOOD – Land Use



A. Rezoning_128 Dover St

STAFF COMMENTS.

PLANNING DEPARTMENT RECOMMENDATIONS

- Consistent and compatible with adopted plans, development policies and goals, zoning ordinance.

BUILDING DEPARTMENT RECOMMENDATIONS

- The building comments may be addressed at the time of construction and following issuance of any required building permits.

FIRE DEPARTMENT / FIRE MARSHAL RECOMMENDATIONS

- Fire and Police service are adequate to serve the parcel for the proposed development.

PUBLIC WORKS, ENGINEERING, AND STORMWATER RECOMMENDATIONS

- Infrastructure is existing and has a low impact to roadways.
- SWM Best Management Practices ("BMP's") standards are required to be implemented at time of development

SHELBYVILLE POWER, WATER, AND SEWERAGE RECOMMENDATIONS.

- Power and water are adequate to serve the parcel for the proposed development.

TDOT

- Dover St. is a local road.

TDEC

- No action is required because any regrading does not meet TDEC threshold of 1 acre disturbance.

B/C. Annexation Petition and Rezoning_131 Harts Chapel Rd

SITE DATA

1. Address: P/O 131 Harts Chapel Rd.
2. Tax Map 050 Parcel 039.04
3. Current Zoning: A-1, County
4. Target Zoning: C-2, General Business
5. Total Land Area: +/- 0.52 ac.
5. Compatible with Mixed Density Residential Character Area (Comprehensive Plan)
6. Compatible Corridor Study and Corridor Access Management Agreement ("CAMA")
7. Public Infrastructure and Services NOT available now or time of occupancy

PROPERTY OWNER

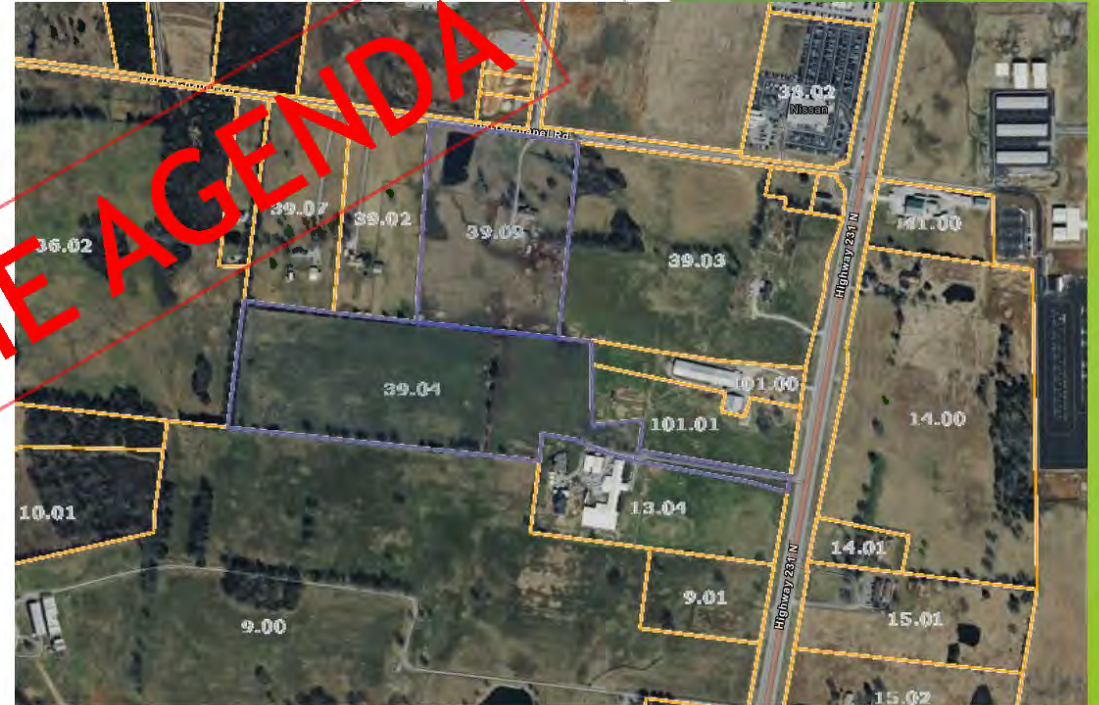
Coy and Jane Landers

REPRESENTATIVE

Northcutt Surveying, Inc.

REQUEST

Requesting recommendation from Planning Commission to City Council for Annexation and Rezoning





The background features abstract, overlapping green geometric shapes, primarily triangles and polygons, in various shades of green, creating a modern and dynamic visual effect.

NEW BUSINESS

Planning Commission Decision

D. Site Plan_Randy Hooper Airplane Hangar

[PUBLIC]

SITE DATA

1. Address: 2828 Hwy 231-N
2. Tax Map 050 P/O Parcel 023.00
3. Current Zoning: I-1, Light Industrial
4. Total Land Area: +/- 374.31 ac
5. Substantially Consistent with North Gateway Corridor Character Area(Comprehensive Plan)
6. Corridor Study and Corridor Access Management Agreement ("CAMA")

PROPERTY OWNER

City of Shelbyville

REPRESENTATIVE

St. John Engineering, LLC.

REQUEST

Requesting approval of 3,600 sqft. Aircraft storage hangar.

- No new parking or SWM
- Total grading is less than 1-ac.

LOCATION MAP



D. Site Plan_Randy Hooper Airplane Hangar

[PUBLIC]

CRITERIA FOR PLANNING COMMISSION DECISION AND STAFF FINDINGS.

In accordance with *Shelbyville Municipal Zoning Ordinance* Article 1, Sec. 1.7, and Art. III, Sec. 3.13, the Planning Commission is required to review all commercial, industrial, PUD, Multi-family and Mobile Home/RV park site plans.

Planning Commission bases their review on the adopted plans, policies, zoning ordinance, and subdivision regulations. Applications are required to meet the airport standards for landscaping and City Design Standard for the zoned district (I-1, Light Industrial). The following are findings based on Staff review:

- There is an inconsistency where industrial development should be (Industrial Park to the West of Hwy 231 N).
- Is compatible with the underlying zoning (I-1, Light Industrial). The hangar location meets the minimum requirements established in the Bulk Regulations for the underlying zoning.
- No change to access and no substantial traffic impact from the development
- Comments from the initial submittal have been addressed by the resubmittal made on July 25, 2025. The application is deemed *Complete*.
- The Airport Director provided construction plans that address the fire department and Shelbyville Power System comments on the need for fire protection. Estimated timeframe for completion of the fire protection improvement servicing this hangar is 60-90 days.

All comments have been substantially addressed to satisfaction of the Pre-planning Committee.

(Post Procedural Notifications are provided to the applicant to make aware of regulatory requirements to address during building and permitting phases, construction and post-construction phases up to and post occupancy.)

D. Site Plan_Randy Hooper Airplane Hangar

[PUBLIC]

ACTION BY PLANNING COMMISSION

If the Planning Commission concurs with Staff Findings, the recommendation is to APPROVE WITH ONE (1) CONDITION for the site development application resubmitted on July 25, 2025, addressing all staff comments, consisting of 3,600 sqft. *Airplane Storage Hangar*. leased by Randy Hooper, on portion of parcel owned by *Shelbyville Municipal Airport*, addressed as 2828 Hwy 231 N, Shelbyville, Tennessee, and identified in Bedford County tax records as Tax Map 050 Parcel 023.00, a use compatible with the underlying zoning, and substantially consistent with adopted plans and development policies.

CONDITION.

Submit As Built plans of the utility and infrastructure to the City and SPS.

If Planning Commission does not concur with Staff Findings, the Planning Commission may DEFER or DENY the site development application referenced above.

D. Site Plan_Randy Hooper Airplane Hangar

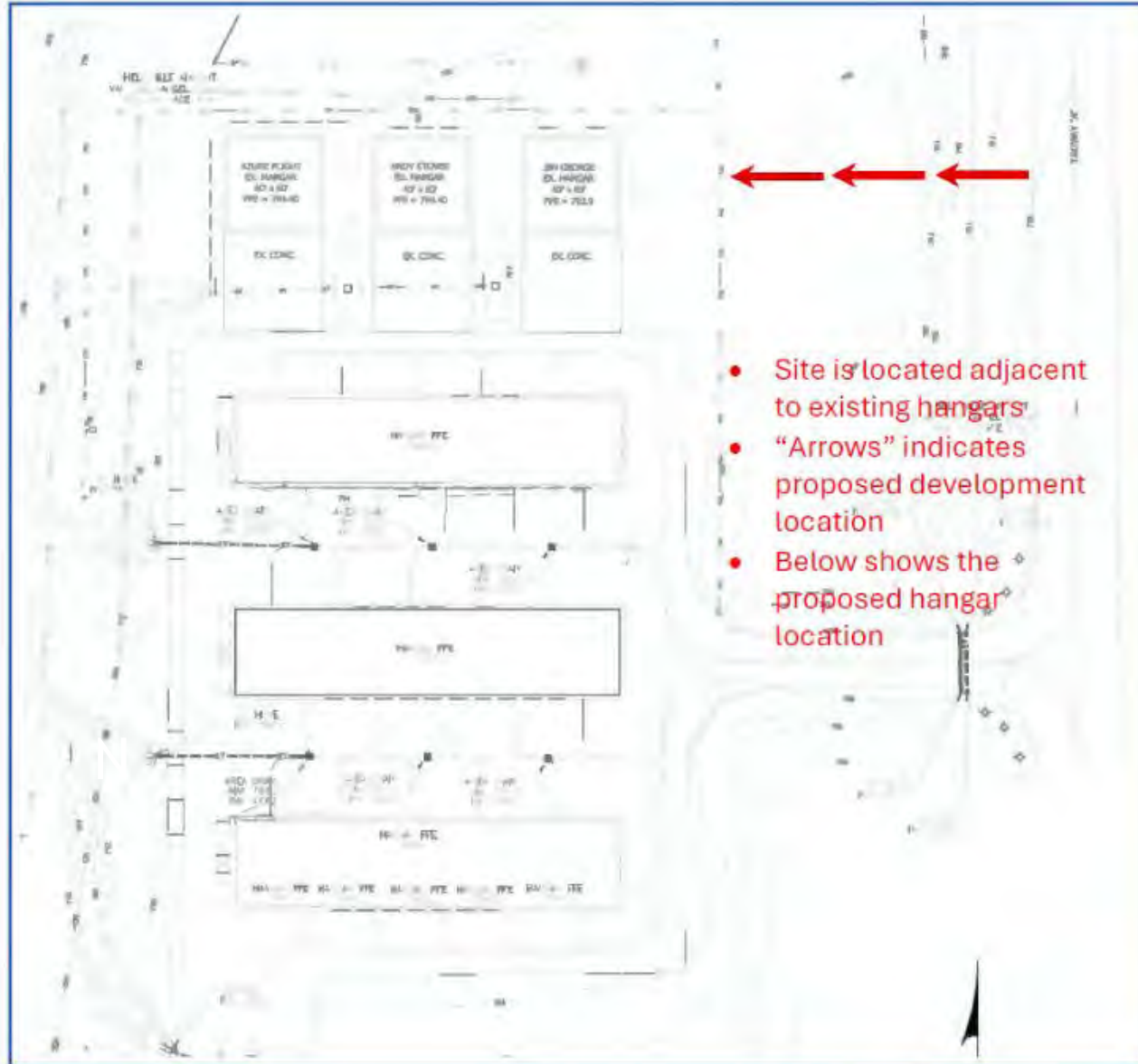
[PUBLIC]

POST APPROVAL PROCEDURAL NOTIFICATIONS

- Review and approval are based on July 25, 2025, resubmittal civil set of drawings and Garver, LLC. utility construction drawings dated May 2024 received on August 11, 2025, from the Airport Director.
- Applicant is required to meet the minimum standards for *SWM Best Management Practices* (“BMP’s”) regardless of magnitude of land disturbance. Contact Brian Dickey, MS4 Compliance Officer, as necessary.
- Provide all new utility and infrastructure As Builts to the Planning & Community Development Department, Public Works Department, and Shelbyville Power Systems.
- Obtain grading permit through Public Works.
- Obtain Building Permits through Building & Codes Department.
- Obtain building permit through City of Shelbyville, TN. Electrical permits are through State of TN. Fire Marshal, “CORE” system.

D. Site Plan_Randy Hooper Airplane Hangar

[PUBLIC]



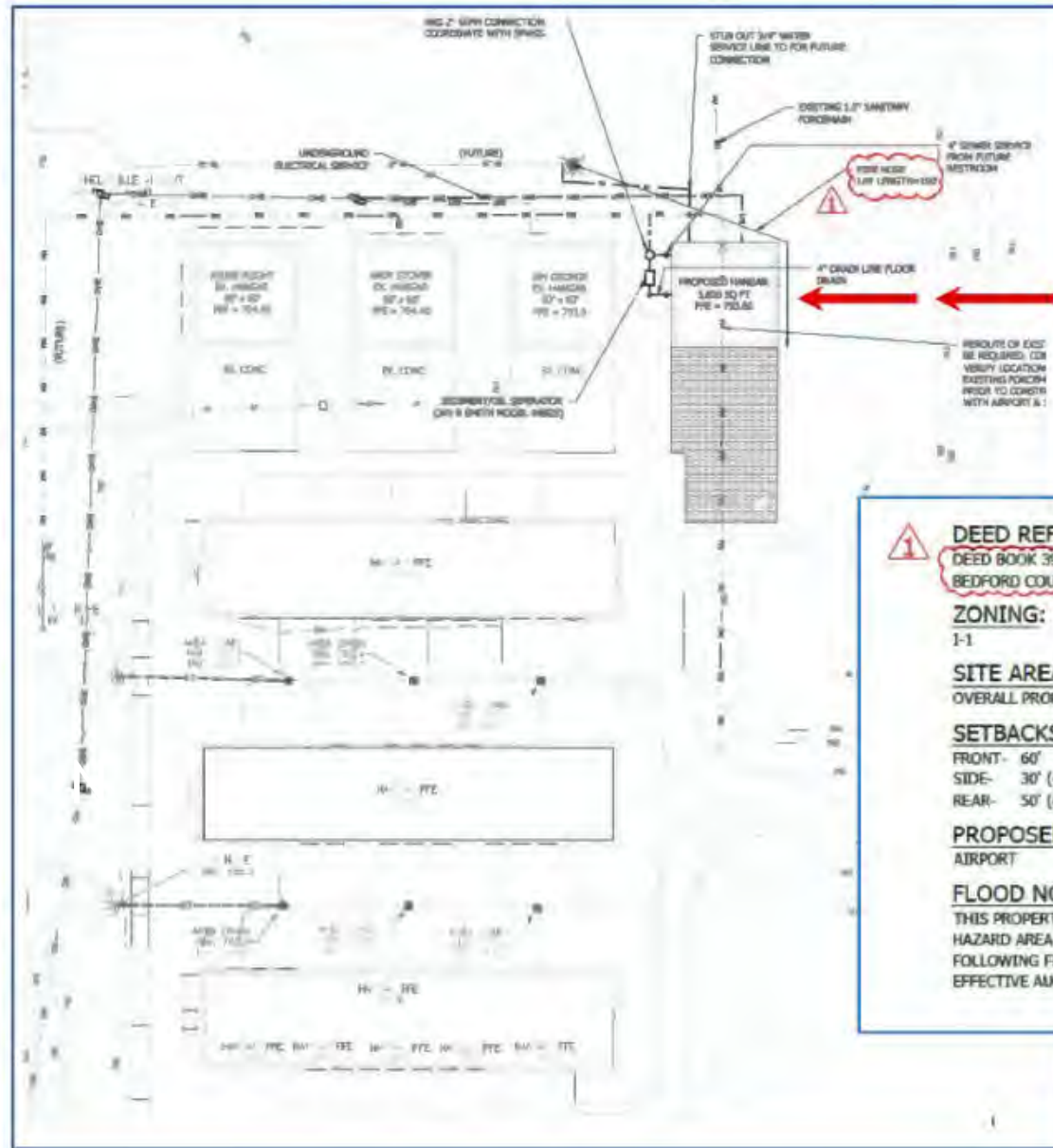
- Site is located adjacent to existing hangars
- "Arrows" indicates proposed development location
- Below shows the proposed hangar location

LOCATION MAP



D. Site Plan_Randy Hooper Airplane Hangar

[PUBLIC]



- 60x60 Hangar
- Location concurs with the Master Plan Submitted to FAA
- New concrete connection to existing access
- No new parking
- Drainage into existing airport SWM facility
- Disturbance less than an acre
- Airport Engineer and Contractor to coordinate



DEED REFERENCES:

DEED BOOK 392, PAGE 167, REGISTER'S OFFICE OF BEDFORD COUNTY, TENNESSEE.

ZONING:

I-1

SITE AREA:

OVERALL PROP. AREA: 373± ACRES

SETBACKS:

FRONT- 60'

SIDE- 30' (40' ADJOINING RESIDENTIAL)

REAR- 50' (60' ADJOINING RESIDENTIAL)

PROPOSED USE:

AIRPORT

FLOOD NOTE:

THIS PROPERTY DOES NOT LIE IN A SPECIAL FLOOD HAZARD AREA IN ACCORDANCE WITH THE FOLLOWING FIRM PANEL NUMBERS: 47003CD190E, EFFECTIVE AUGUST 2, 2007.

D. Site Plan_Randy Hooper Airplane Hangar

CONSISTENCY WITH FUTURE LAND USE MAP AND GENERAL PLAN



North Gateway Corridor

MOST APPROPRIATE USES (FROM GENERAL PLAN)

The North Gateway Corridor Character Area is open to a wide range of primary future uses. Mixed use/Residential Planned Unit Developments, Commercial, Personal Services, Hospitality, Office, and Medical uses are the most generally appropriate uses throughout the corridor.

Extensions to transportation, water, sewer, and other services should be expected. New service or extensive redevelopment of existing services should be vetted and reviewed by the Planning Commission, City Council and SPWSS as a primary element of approval.

COMPATIBILITY WITH ZONING ORDINANCE.



I-1 ZONING

Zoning Ordinance permits airport land use.

D. Site Plan_Randy Hooper Airplane Hangar

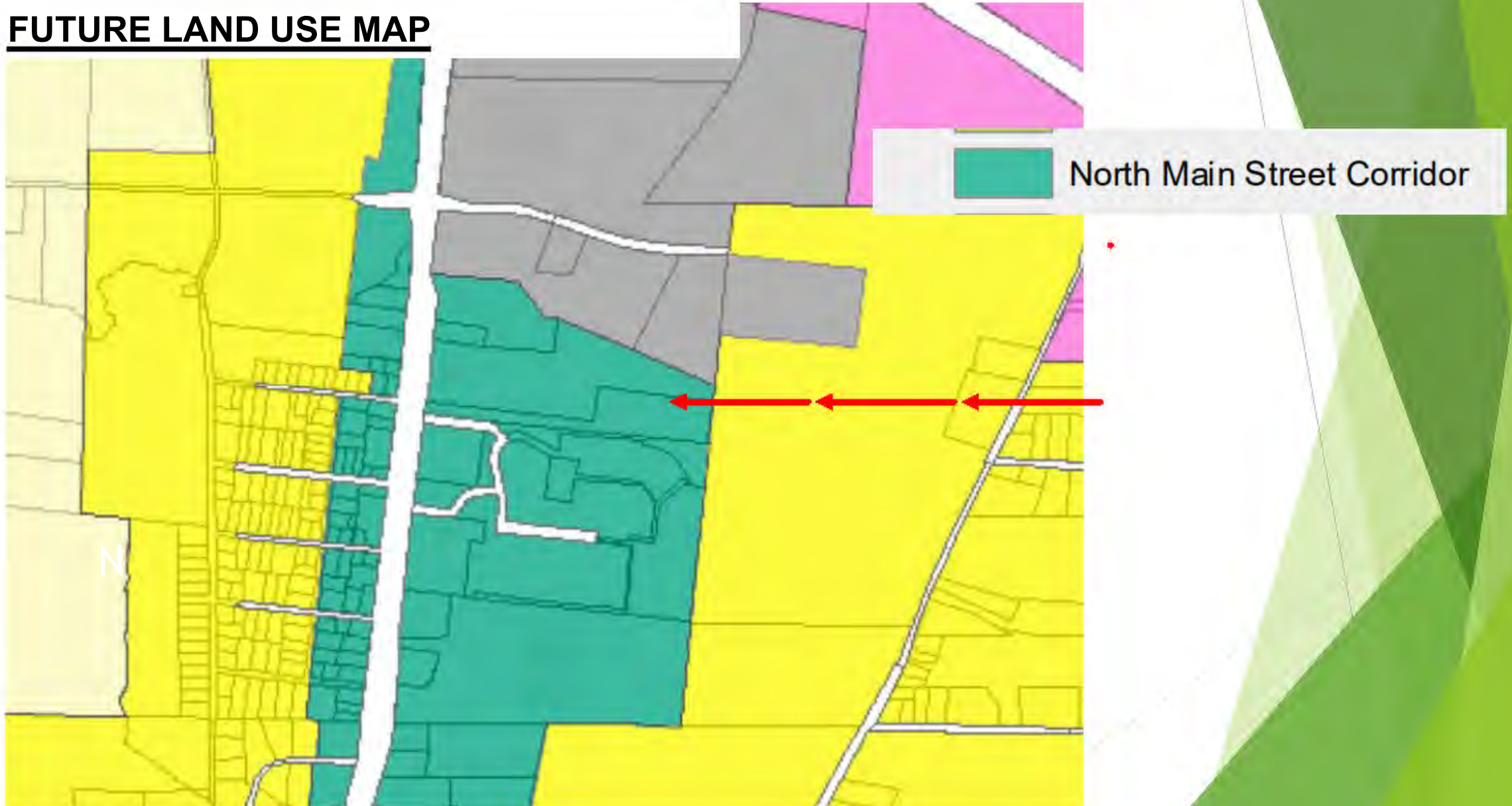
Bulk Regulations Comparison		I-1, Light Industrial
Min. Lot Size		1-Acre (43,560 sqft)
Max. Lot Size		No Limit
Min. Lot Width @ Setback		No Limit
Min. Front Yard Setback		60ft
Min. Side Yard Setback		30ft
Min. Rear Yard Setback		50ft
Min. Side Yard Adj. Residential		40ft.
Min. Rear Yard Adj. Residential		60ft
Min. Street Frontage		100ft
Min. Street Frontage @ Cul de sac		75ft
Max. Building Height		No Limit
Max. Building Lot Coverage		50%

- Meets the Bulk Regulations for I-1 Zone District

FUNCTIONAL CORRELATION OF DO-DRUG

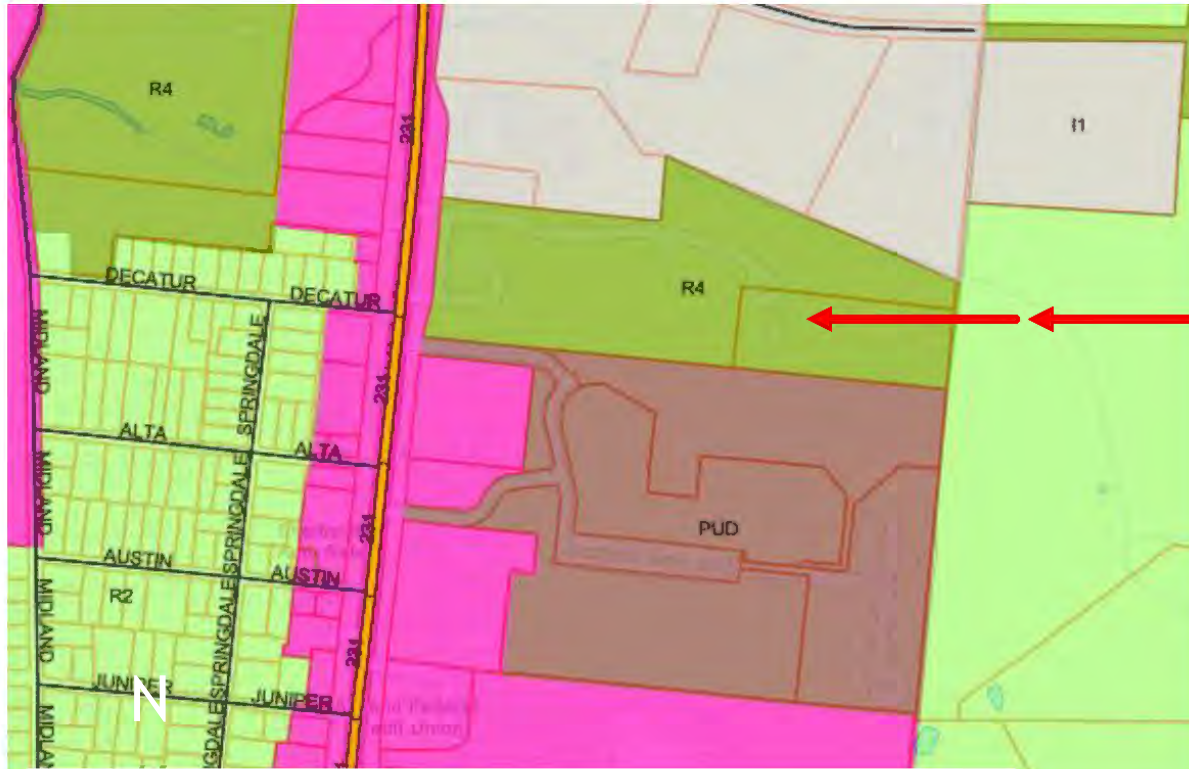
E. Concept_Victory Parke Major SD

FUTURE LAND USE MAP



E. Concept_Victory Parke Major SD

CURRENT ZONING –R-4 BULK REGULATIONS



Land Use	R-1	R-2	R-3	R-3A	R-4
Residential Activities (Permanent)					
Accessory Dwelling/Apartment	X	X	X		
Double Wide Mobile Home	X	X	X		
Duplex			X	X	X
Upper Story Residential (C-1 Zone District Only)					
Multi-Family					X
Multi-Family (Max of 3 Units Per Building)				X	X
Multi-Family (Max of 4 Units Per Building)				X	X
Single Family Detached	X	X	X		
Single Family Attached	X	X	X		
Single Wide Mobile Home					Allowed in Mobil
Residential Activities (Semi-Permanent and Transient)					

C. → **OPEN SPACE REQUIREMENTS.** Due to the higher density nature of development permitted within the R-4 zone district, the City of Shelbyville desires to amend the open space areas within the R-4 zone developments. The permitted land use of multi-family encompasses townhomes, condominiums, and apartments, and duplex dwelling types in this zone district.¶

¶ Any R-4 zoned development having land use types of multi-family encompasses townhomes, condominiums, and apartments, and duplex dwelling types, shall provide a minimum of 30 percent (30%) of the gross project area as open space and at least 50 percent (50%) of this land set aside as Usable Open Space, as defined in Article II Section 2.2 of this ordinance. Usable Open Space shall be located within a ¼-mile from any dwelling unit, or approximately 1,320-ft. Open space within an R-4 zone district is regulated by open space requirements within Article II Section 2.2 of this ordinance. Refer to additional landscaping and parking lot design requirements in the City of Shelbyville Design Standards.¶

¶ Gross Project Area as used herein shall mean the outer limits of the lot or parcel to be altered or affected by a proposed development.¶

D. → **ARCHITECTURAL DESIGN STANDARDS.** In an effort to maintain high standards for multi-family development, the City of Shelbyville has adopted Design Standards that include architectural guidelines. All developments as defined in Article II Section 2.2 of this ordinance that contain any multi-family land use, shall comply with the architectural guidelines found in Section E of the Shelbyville Design Standards.¶

¶

E. → **BULK REGULATIONS.** All uses permitted in the High-Density Residential District shall comply with the following requirements except as provided elsewhere in this ordinance. All residential dwelling units are required to have two off street parking spaces. The actual size of the proposed lot of development will be rounded to meet the criteria of the nearest dimensional district criteria below.¶

MEASURED IN SQUARE FEET¶	DUPLEX¶	MULTI-FAMILY¶
MIN. LOT AREA¶	12,000¶	15,000¶
MIN. AREA PER FAMILY¶	6,000¶	3,000¶
MIN. LOT WIDTH AT BLDG. SETBACK¶	75¶	75¶
MIN. LOT WIDTH AT BLDG. SETBACK/CUL-DE-SAC¶	50¶	25¶
MIN. FRONT YARD SETBACK¶	40¶	40¶
MIN. SIDE YARD SETBACK¶	12¶	15¶
MIN. REAR YARD SETBACK¶	20¶	20¶
MIN. STREET FRONTAGE¶	75¶	100¶
MIN. STREET FRONTAGE/CUL-DE-SAC¶	25¶	25¶
MAX. BUILDING HEIGHT¶	45¶	45¶
MAX. LOT COVERAGE¶	40%¶	40%¶
MINIMUM OPEN SPACE ¶ (CALCULATION BASED ON GROSS PROJECT AREA)¶	30%¶	30%¶
MINIMUM USABLE OPEN SPACE¶	15%¶	15%¶

E. Concept_Victory Parke Major SD

[PUBLIC]

DESIGN STANDARDS

H. Multi-family Residential Developments *[Section Amended by Ordinance No. 2025-1256]*

These standards are applicable to any site plan application for a building that contains three (3) residential dwellings or more.

- a. Open space and/or recreational areas shall be integrated into the overall design of the project, Refer to *Shelbyville Municipal Zoning Ordinance* Art. V, Sec. 5.4.2A and 5.4.3 for Open Space requirements. and must constitute at least 10 percent of the total area of the site.
- b. Multi-Family residential buildings (townhomes and condominiums) shall be designed so that each dwelling unit has a distinct front elevation. Multi-family buildings should be compatible with and make respectful transitions to their neighborhood context. The proportional relationship between adjacent buildings and between the proposed building/buildings and the street should be maintained. This can be achieved by having a transition in height and size when adjacent to areas with lower density developments.
- c. *Townhome and Condominium buildings should contain no more than six (6) units per building*
- d. A planting strip having a minimum width of 20 feet is required for properties fronting on arterial streets to reduce light and noise.
- e. Buildings should face streets, the common open spaces, and internal private streets.
- f. Buildings should be articulated into smaller segments. This can be accomplished by not permitting long uninterrupted building facades and rooflines, varying façade composition, changes of plane, breaks created by balconies or stairs, change of roof line, or changes of material.
- g. Generally, there should be articulation, change of color, or material for each 20 feet in the exterior walls, or alternating façade plane.
- h. The front facade and any other facade shall contain 100 percent primary wall materials. All percentages are calculated based on the wall surface area and do not include areas used for windows and doors. The use of alternate materials or secondary wall materials allowed herein in differing quantities may be authorized at the sole discretion of the Planning Director.
- i. An additional 8 percent of all the parking spaces required as per the Zoning Ordinance shall be designated as "guest parking spaces". Guest parking spaces are to be disbursed throughout the site for convenience.
- j. Trim, eaves, and soffits may incorporate the use of vinyl, aluminum, and other materials approved by the International Residential Code as adopted.
- k. Avoid repetition and apply subtle variations to building setbacks, planes, rooflines, and use architectural features such as awning, light fixtures, and eave details.
- l. No wall or window mounted air conditioning or heating units may be installed or placed in any window.
- m. Mechanical equipment shall not be roof mounted, but may be on the ground, within attic space, or other location screened from public view. This includes electrical panels/meters, HVAC equipment, and phone/cable connections.

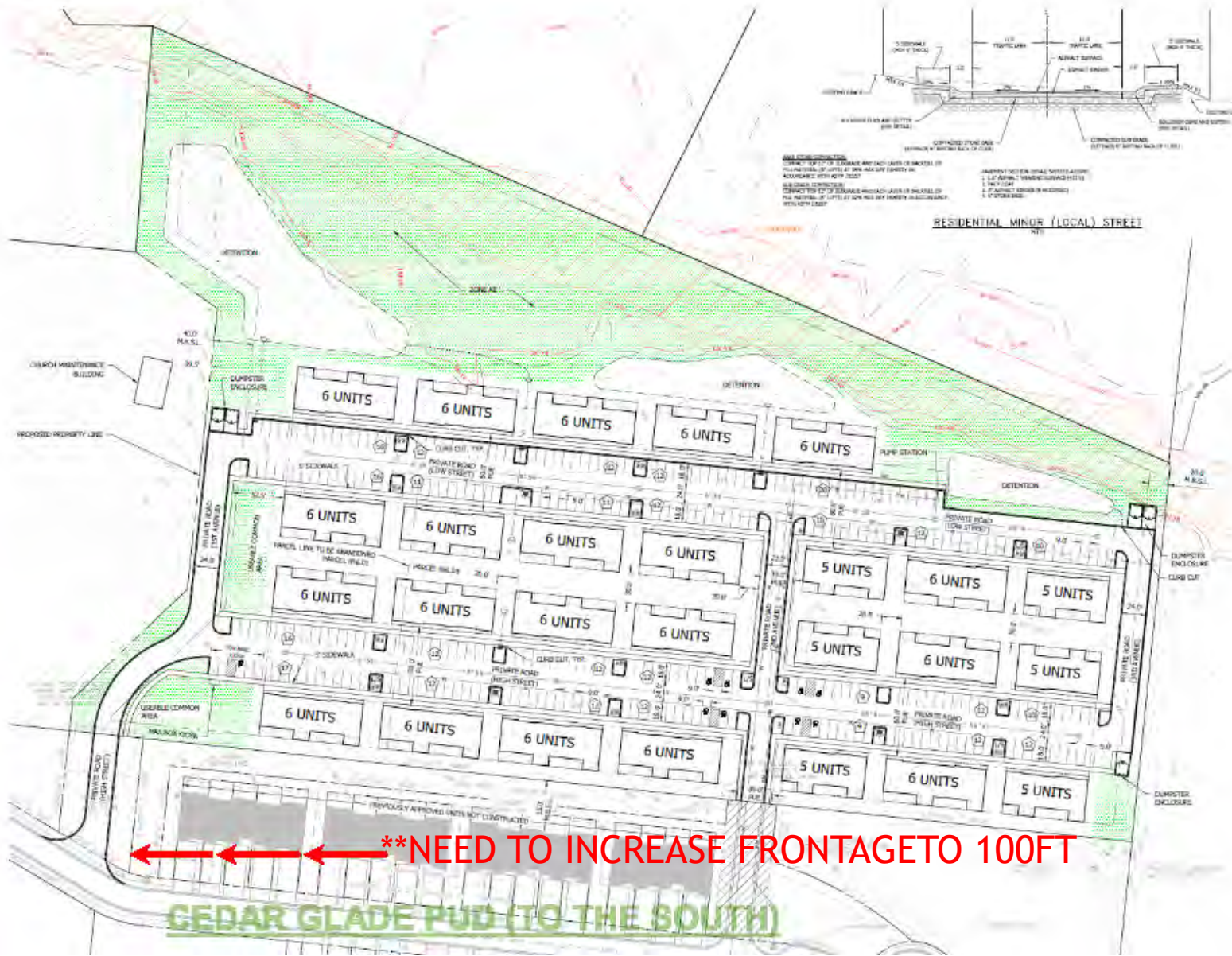


Illustrative site plan for a parking lot

E. Concept_Victory Parke Major SD

(PUBLIC)

CONCEPT



SITE DATA

ZONING:

R-4

SETBACKS:

FRONT - 40'
SIDES - 15' (MULTI-FAMILY)
REAR - 20'

SITE AREA:

PROPERTY AREA - 12.82 ACRES (558,514 FT²)

6-UNIT BUILDINGS - 20
5-UNIT BUILDINGS - 5
TOTAL - 150 UNITS

MAXIMUM DENSITY - 3,000 FT² PER FAMILY

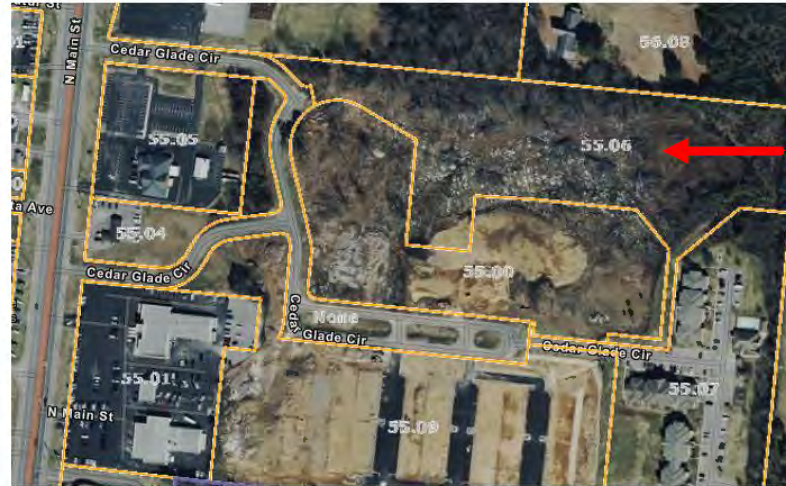
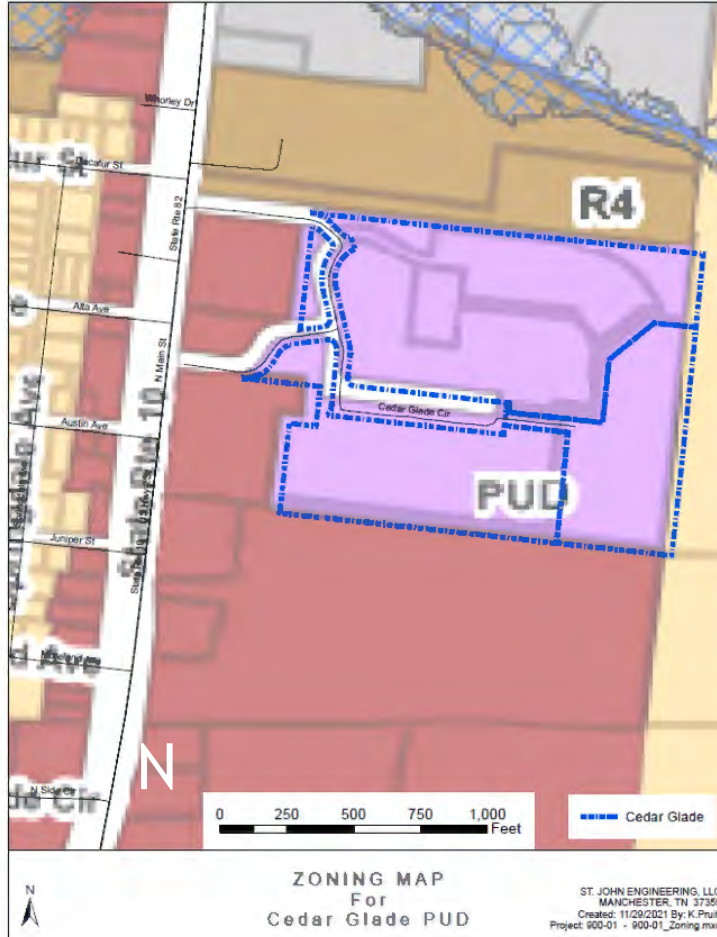
PROVIDED DENSITY -
558,514 FT² / 150 UNITS = 3,723 FT² PER UNIT

PARKING SPACES REQUIRED- 2 PER UNIT (300) + 8% (24)
PARKING SPACES PROVIDED- 324

OPEN SPACE:

OPEN SPACE - REQ'D 30% (15% USABLE)
REQ'D O.S. - 167,554 FT² (83,777 FT²)
SHOWN - 201,494 FT² (162,988²)

CEDAR GLADE PUD TO THE SOUTH



Phase 2 – Residential (Parcel 055.06)
Zoned PUD
 Townhouse Land Area- 3.73 acre
 Proposed Public ROW Area- 1.47 acre
 Total Phase 2 Area- 5.20 acre
 Use- Townhouses, 39 units
 Density- 7.50 units/acre
 Residential Lot Setbacks:
 Front- 40'

Residential Building Unit Summary:

Calculated Residential Units: 39 Townhouses (Parcel 055.06)
Garage, 4 and 5 - Unit Bldgs - (8) - 1,464 to 1,815 sq ft per unit = 62,559 sq ft
Total SQ FT (Proposed) - 62,559 sq ft (Phase 2)

Existing Residential Units – 64 Units (Apartments, Parcel 055.07)
Existing Building #1 (3 Story, 20 Units) – 11,302 sq ft
Existing Building #2 (3 Story, 20 Units) – 11,265 sq ft
Existing Building #3 (3 Story, 24 Units) – 12,673 sq ft
Total Existing Building - 35,240 sq ft (Phase 1)

Calculated Proposed Residential Units: 96 Townhouses (Parcel 055.00)
Non-garage unit buildings- (16) at 5,213 sf/building = 83,408 sf
Total Proposed Building area = 83,408 sf (Phase 3)

^[PUBLIC] F. Final Plat_Lucas Grove Phase 3 Major SD

SITE DATA

1. Address: Shadow Drive
2. Tax Map 078K P/O Parcel 010.00
3. Current Zoning: R-2, Medium Low Density Residential
4. Total Land Area: +/- 2.04 ac
5. Total D/U: 6-single family residential

PROPERTY OWNER

Tory May Homes, LLC.

REPRESENTATIVE

Northcutt Surveying, Inc.

REQUEST

Approval of final plat for a major subdivision, 6-single family lots in R-2 Zone District. 1.82 ac. For lots, 0.22 for Public ROW.

Nollan / Dolan Nexus: Dedication of 50ft ROW roughly proportional for Shadow Drive and development impact

LOCATION MAP



F. Final Plat_Lucas Grove Phase 3 Major SD

[PUBLIC]

CRITERIA FOR PLANNING COMMISSION RECOMMENDATION AND STAFF FINDINGS.

- On April 27, 2023, Preliminary Plat was approved by the Planning Commission for 22-single family lots in the R-2, Medium Low Density Residential, subdivision, “Lucas Grove”.
- Proposed land use as single family is compatible with the underlying zoning (R-2, Medium Low Density Residential). The proposed lot size meets the Bulk Regulation for the zoned district.
- This application for 6-single family residential lots in the “Lucas Grove Subdivision Phase 3” was reviewed by the Pre-planning Committee on July 14, 2025, and comments delivered to the Applicant on July 18, 2025, in accordance with the adopted *Planning Commission (PC) Meeting Schedule*.
- All comments *EXCEPT TWO (2)* from the initial submittal have been addressed by the resubmittal made on July 25, 2025. The application is deemed *Complete*.
- Dedication of 50ft Public ROW (Shadow Drive) meets the standard under the Nollan / Dolan test where there is an essential connection and relationship between the dedication of the 50ft Public ROW that is roughly proportional to the development impact created by the 6-single family lots.

(Post Procedural Notifications are provided to the applicant to make aware of regulatory requirements to address during building and permitting phases, construction and post-construction phases up to and post occupancy.)

F. Final Plat_Lucas Grove Phase 3 Major SD

[PUBLIC]

NOLLAN / DOLAN NEXUS.

In exercising the powers granted to it by § 13-4-302, the Planning Commission shall not require an owner of private property to dedicate real property to the public, or pay money to a public entity in an amount that is determined on an individual and discretionary basis, unless there is an essential nexus between the dedication or payment and a legitimate local governmental interest and the dedication or payment is roughly proportional both in nature and extent to the impact of the proposed use or development of the property, also known as the NOLLAN / DOLAN NEXUS.

An owner of private property is required to make dedication or pay money in violation of this subdivision may seek relief through a common law writ of certiorari in chancery court. There is not a new subdivision, but rather an amendment to an approved Final Plat. Public Right of Way was dedicated before, Shadow Drive, and it was a 50' ROW. This major subdivision extends the already dedicated Public Right Of Way. The 50' ROW dedication is roughly proportional both in nature and extent to the impact of the proposed 6 residential lots that are intended for single family detached homes in the R-2, Medium Low Density Residential zone district as per the regulations of the City of Shelbyville Zoning Ordinance.

F. Final Plat_Lucas Grove Phase 3 Major SD

[PUBLIC]

ACTION BY PLANNING COMMISSION.

If the Planning Commission concurs with Staff Findings, the recommendation is to **APPROVE WITH TWO (2) CONDITIONS** the proposed subdivision application, “Lucas Grove Subdivision Phase 3”, resubmitted on July 25, 2025, addressing all staff but one (1) staff comments, consisting of 6-single family residential lots owned by Tory May Homes located on Shadow Drive, Shelbyville, Tennessee, and identified in Bedford County tax records as Tax Map078K Group A P/O Parcel 010.00, a use compatible with the underlying zoning, and consistent with adopted plans and development policies.

CONDITIONS.

1. Complete roadway paving.
2. Construction and As Builts are required to be submitted and approved ***BEFORE*** recording of the Final Plat.

F. Final Plat_Lucas Grove Phase 3 Major SD

[PUBLIC]

POST APPROVAL PROCEDURAL NOTIFICATIONS

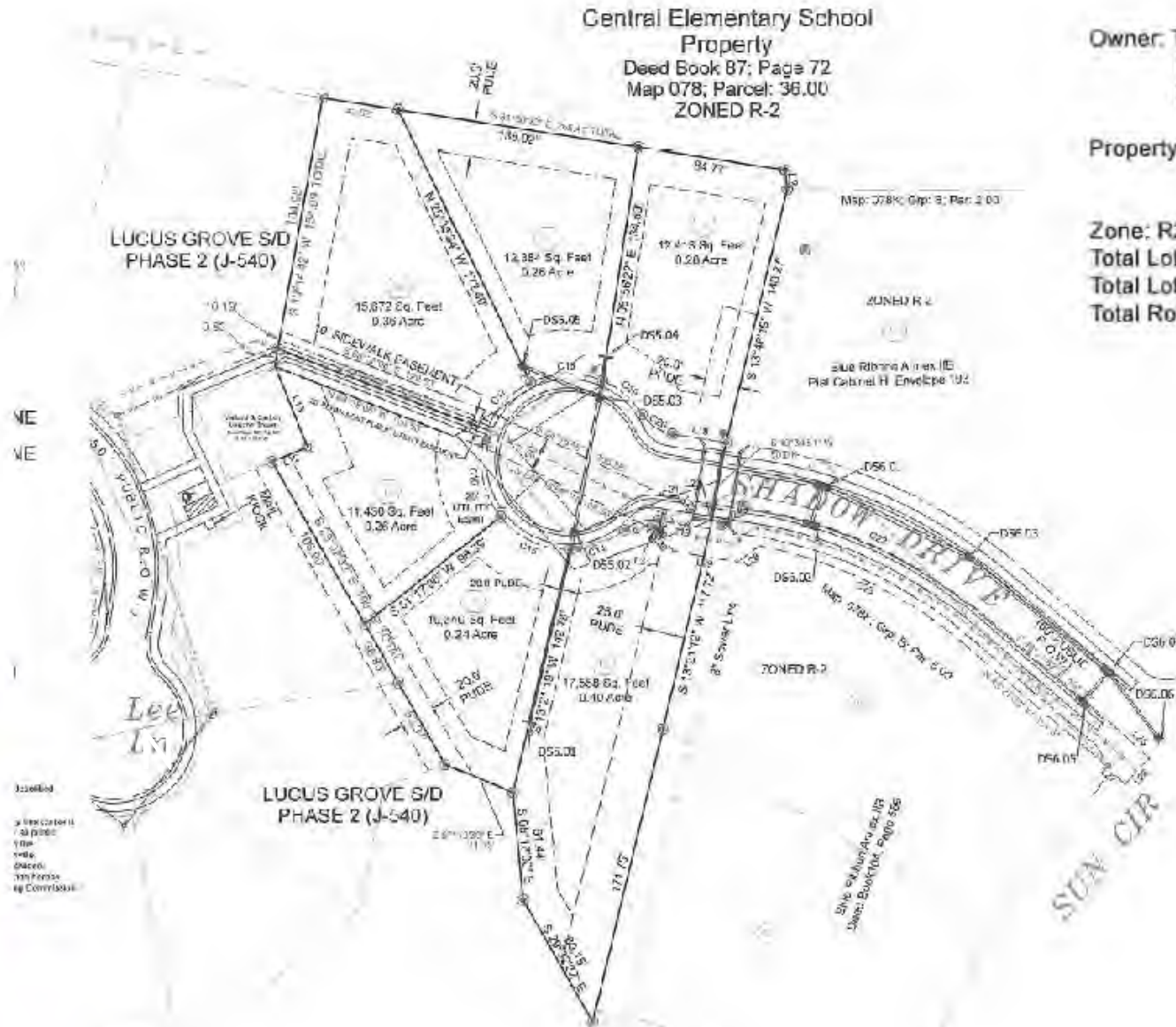
- Review and approval are based on July 25, 2025, resubmittal from Northcutt Surveying, Inc., representative.
- Applicant is required to meet the minimum standards for SWM *Best Management Practices* (“BMP’s”) regardless of magnitude of land disturbance. Contact Brian Dickey, MS4 Compliance Officer, as necessary.
- Provide As Builts for approval *BEFORE* final plat for this phase may be recorded.
- Obtain grading permit through Public Works.
- Obtain Building Permits through Building & Codes Department.
- Obtain building permit through City of Shelbyville, TN. Electrical permits are through State of TN. Fire Marshal, “CORE” system.

[PUBLIC]



F. Final Plat_Lucas Grove Phase 3 Major SD

[PUBLIC]



Owner: Tory May Homes, LLC
P.O. Box 113
Bell Buckle, Tn 37020

Property Address: Shadow Dr.
Shelbyville, Tn 37160

Zone: R2
Total Lots: 6
Total Lot Acreage: 1.82
Total Road Acreage: .22

TITLE SOURCE: Deed Book 376; Page 250, Tract 2
TAX MAP: Map 078K; Group A; P/O Parcel 010.00
LOCATED: 7th Civil District
Bedford County, TN

DS6.04

DS6.05

DS6.06

TYPICAL
LOT DETAIL



STREET

F. Final Plat_Lucas Grove Phase 3 Major SD

CONSISTENCY WITH FUTURE LAND USE MAP AND GENERAL PLAN



Mixed Density Residential

MOST APPROPRIATE USES (FROM GENERAL PLAN)

PRIMARY FUTURE USES (Most Appropriate) *Sourced From the Comprehensive Plan*

Low Density (R-1 & R-2) or Medium Density (R-3 & PUD) single family detached residential uses, or duplex developments are the most appropriate use in this Character Area. Triplex or quadplex buildings are appropriate uses in the areas that meet the criteria for rezoning to the R-3A zoning district.

COMPATIBILITY WITH ZONING ORDINANCE.



R-2 ZONING

Zoning Ordinance permits single family dwelling land use

Bulk Regulations Comparison	R-2, Medium Low Density Residential	
Min. Lot Size	10,000 sqft.	
Max. Lot Size	N/A	
Min. Lot Width @ Setback	75ft Road	50ft Cul-de-sac
Min. Front Yard Setback	25ft	
Min. Side Yard Setback	10ft	
Min. Rear Yard Setback	20ft SFD	
Min. Side Yard Adj. Residential	10ft SFD	12ft Duplex
Min. Street Frontage	75ft SFD	
Min. Street Frontage @ Cul de sac	25ft	
Max. Building Height	45ft SFD	
Max. Building Lot Coverage	35%	

CONCURRENCY (Public Facilities and services are adequate to serve the development at the time of occupancy).

Extension of utilities were required as part of the subdivision. Public facilities and services will be adequate at time of recording of final plat.

F. Final Plat_Lucas Grove Phase 3 Major SD

[PUBLIC]

STAFF COMMENTS

PLANNING DEPARTMENT RECOMMENDATIONS

- Substantially consistent with adopted plans and development policies.
- Proposed use is compatible with R-2 zoning and meets Bulk Regulations for the zoned district.
- Refer to Conditions of the approval identified in *Action by Planning Commission*.
- Nollan / Dolan Nexus for the dedication of a 50ft ROW for Shadow Drive proportional to development impact.

BUILDING DEPARTMENT RECOMMENDATIONS

- The building comments may be addressed at the time of construction and following issuance of any required building permits.

FIRE DEPARTMENT / FIRE MARSHAL RECOMMENDATIONS

- Coordinate with Fire Department as necessary. Capacity adequate and will serve.

POLICE DEPARTMENT

- Capacity adequate and will serve.

PUBLIC WORKS, ENGINEERING, AND STORMWATER RECOMMENDATIONS

- Infrastructure is existing and has no impact to roadways.
- *SWM Best Management Practices* ("BMP's") standards are required to be implemented at time of development.
- Complete roadway paving.
- Submit and obtain approvals for Construction and As Built plans *BEFORE* recording of any final plats for this phase.

SHELBYVILLE POWER, WATER, AND SEWERAGE RECOMMENDATIONS.

- Coordinate construction with SPS for power, water, and sewerage.

TDOT

- Based on Department record, it appears to have not been required or is unavailable.,

TDEC

- If it exceeds 1 acre, obtain permit from TDEC for land disturbance.

The background of the slide features abstract, overlapping geometric shapes in various shades of green, primarily on the left and right sides, framing a central white area where the text is located.

STAFF REPORT

Administrative Approvals

Discussion Items

A. Raby Ave. Lot in Clearview Hgts SD

SITE DATA

1. Address: Raby Ave and Narrows Rd
2. Tax Map 099H Group C Parcel 09.00
3. Current Zoning: R-1, Low Density Residential
4. Total Lot Size Created: 20,154 sf.
5. Total Lot Size Remaining: 23,030 sf

PROPERTY OWNER

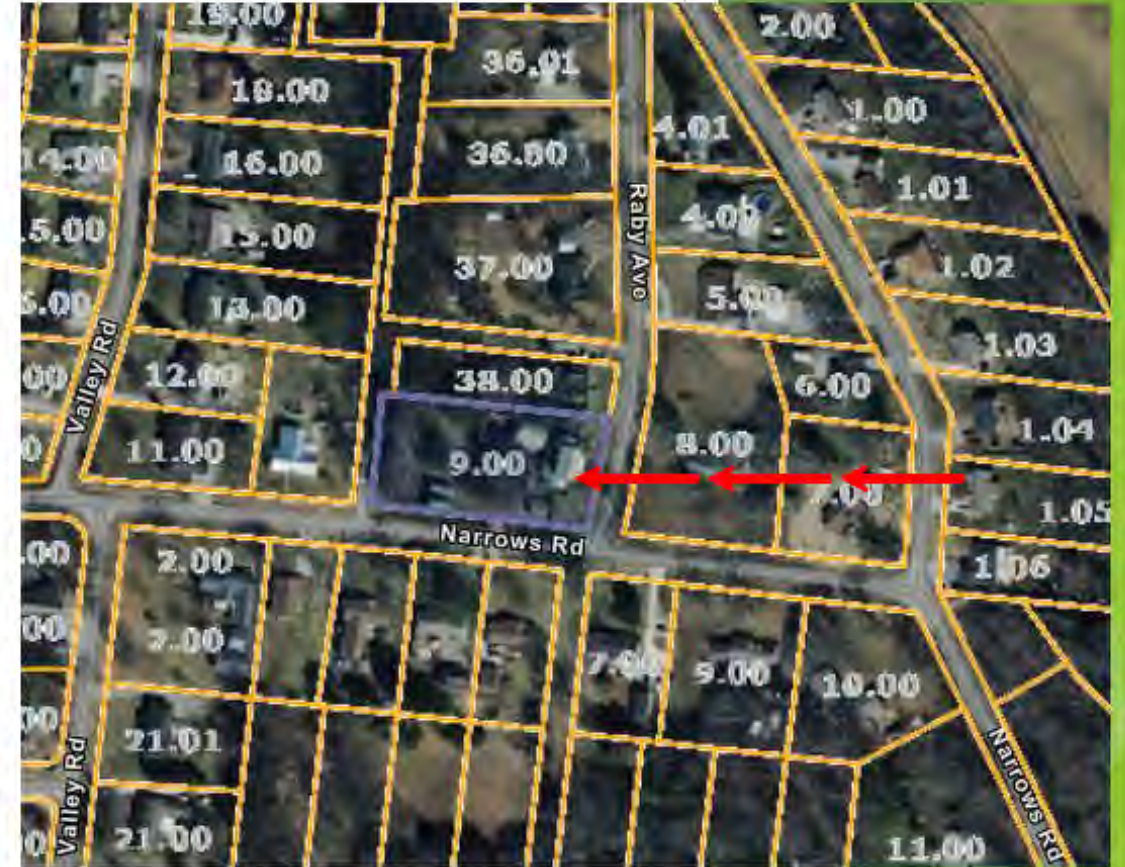
Daniel Gragg Construction, LLC.

REPRESENTATIVE

Northcutt Surveying, Inc.

REQUEST

Minor subdivision creating a single parcel





B. Lot Combination_218 Eagle Blvd

SITE DATA

1. Address: 218 Eagle Blvd
2. Tax Map 090A Group A Parcel 033.08
3. Current Zoning: I-2, General Industrial
4. Total Lot Area (Post Combination): 6.96 ac.

PROPERTY OWNER

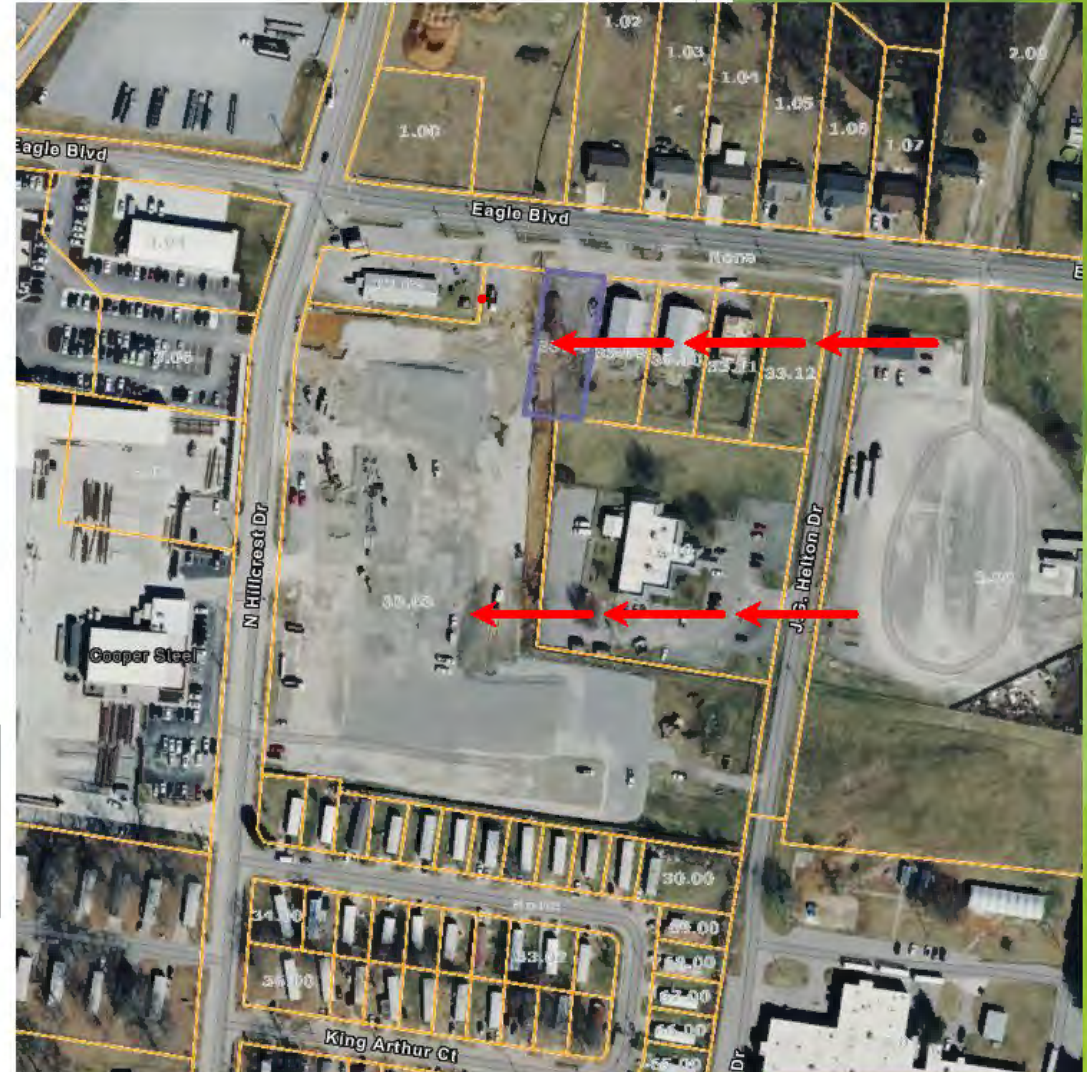
City Industrial Development Board

REPRESENTATIVE

Cooper Steel Fabricators / Collier Engineering

REQUEST

Lot Combination of 2-lots





AREA PARCEL 33.03	288,958 S.F.±	6.63 AC±
AREA PARCEL 33.08	14,223 S.F.±	0.33 AC±
TOTAL AREA	303,181 S.F.±	6.96 AC±

C. DISCUSSION ITEMS

1. CODE ENHANCEMENTS AND PROCESS IMPROVEMENTS

- **Workflow: 60-90 days timeframe**
- **1st Phase (30 days): PC and Pre-planning committee review/comment**
- **2nd Phase (30 days): Planning Commission in depth review/comment**
- **3rd Phase (30 days): Planning Commission recommendation and advance City Council**

C. DISCUSSION ITEMS

2. ENHANCEMENTS AND IMPROVEMENTS

- Land Disturbance Permit Application and Guide
- Permitted Encroachments in Setbacks / Public ROW / Encroachment Policy

EXHIBIT B –

TABLE 5.3(G)-1:
Permitted Encroachments into Required Building Setbacks

KEY:				
P – Permitted	NP – Not permitted (Prohibited)	MAX. – Maximum encroachment (Feet/Inches)	MIN. – Minimum encroachment (Feet/Inches)	
DESCRIPTION	SETBACKS			
	Front	Corner/Side	Interior Side	Rear
Accessibility Ramp and Other Accessibility Structures	P	P	P	P
Arbor (Attached or Freestanding)	P	P	P	P
Balcony (Townhome, Multifamily, and Nonresidential Uses including Mixed Uses) <ul style="list-style-type: none">Min. of 8ft. vertical clearanceMin. of 4ft from any lot lineMin. of 8ft from rear setback	P	P	P	P
Chimney <ul style="list-style-type: none">Max. of 18-in. (1ft – 6 in.) from any setbackMin. 4ft. from any lot line	P	P	P	P
Deck <ul style="list-style-type: none">Max. height not to exceed ground floor height	NP	P	P	P
Eaves	P	P	P	P
	2ft Max.	2ft Max.	2ft Max.	2ft Max.
Exterior Stairwell	NP	NP	P	P
Fire Escape <ul style="list-style-type: none">Prohibited in Front and Corner Side Yard setbacks unless required by the Fire DepartmentMin. 10ft. from any lot line with the exception of Interior / Side setback	NP	NP	6ft. Max.	6ft. Max.
			P	
			5ft. Max.	P
Accessory (Shed) Not on Permanent Foundation <ul style="list-style-type: none">Ref. Zoning Ordinance Art. V, Sec. 5.3(H)(8)	NP	P	P	P
		5ft Min.	5ft. Min.	5ft Min.
Accessory on Permanent Foundation	NP	NP	NP	NP
Residential Accessory Dwelling	NP	NP	NP	NP
Patio	P	P	P	P

<ul style="list-style-type: none"> Min. of 5ft from any lot line Min. of 8ft from rear setback 	5ft. Max.	5ft. Max.	5ft. Max.	10ft. Max.
Porch (Unenclosed)	P	P	P	P
<ul style="list-style-type: none"> Min. of 5ft from any lot line Min. of 8ft from rear setback 	5ft. Max.	2ft. Max.	2ft. Max.	8ft. Max.
Stoop	P	P	P	P
	5ft.	5ft.	5ft.	5ft.

TABLE 5.3(G)-1:
Permitted Encroachments into Required Building Setbacks (Continued)

KEY:				
P Permitted	NP Not permitted (Prohibited)	MAX. Maximum encroachment (Feet/Inches)	MIN. Minimum encroachment (Feet/Inches)	
DESCRIPTION	SETBACKS			
	Front	Corner/Side	Interior Side	Rear
Residential and nonresidential bay windows, sills, cornices, bands, entablature, quoins, pediments, and other ornamental architectural features and elements	P	P	P	P
	3ft. Max.	3ft. Max.	3ft. Max.	3ft. Max.
Mechanical Equipment	P	P	P	P
<ul style="list-style-type: none">Min. building side separation is 15ft. measured from vertical face of adjacent building elements	5ft. Max.	5ft. Max.	5ft. Max.	8ft. Max.
Awning and Sunshade (All Districts with the Exception of the C-1, Central Business zone district)	P	P	P	P
	3ft. Max.	3ft. Max.	3ft. Max.	3ft. Max.
Non-signage Canopy (Structural) or Porte-Cochere in C-1, Central Business zone district				
<ul style="list-style-type: none">Frontage is on Local Road functional classificationMin. of 8ft. vertical clearanceMin. of 4ft from front property lot lineMin. of 8ft from rear setback	P	P	P	P
Building Signage, Projection (C-1, Central Business Zone District), including integrated canopy signage	P	P		
<ul style="list-style-type: none">Min. of 8ft. vertical clearanceMin. 5ft from any lot line	6ft. Max	6ft. Max.	NP	NP
Gazebo and Pergolas				
<ul style="list-style-type: none">Min. 5ft from rear and side lot lines	NP	NP	P	P

2. ENHANCEMENTS AND IMPROVEMENTS (Continued)

TABLE 14-11
OFF-STREET PARKING REQUIREMENTS
(Requirements Based on Gross Floor Area Unless Otherwise Noted)

Community Assembly	For non-profit clubs, lodges, meeting halls and recreation centers, one space for each floor (4) seats in an assembly area within the facility, or one (1) space for each 75 square foot of gross floor area, whichever is greater, shall be provided.	For non-profit clubs, lodges, meeting halls and recreation centers, one space for each floor (4) seats in an assembly area within the facility, or one (1) space for each 75 square foot of gross floor area, whichever is greater, shall be provided.
Convalescent services	1 space per 2 beds plus 1 space per employee on maximum shift	1 space per 2 beds plus 1 space per employee on maximum shift
Dietary services	1 space per 100 square feet	1 space per 100 square feet
Dormitory	1 space per 4 persons licensed capacity	1 space per 4 persons licensed capacity plus 1 per employee
Education facilities	See Schedule B	See Schedule B
Group care	1 space per 3 persons permitted capacity plus 1 per employee	1 space per 3 persons permitted capacity plus 1 per employee
Guidance services	1 space per 150 square feet	1 space per 100 square feet
Hospital services (inpatient)	1 space per 500 square feet	1 space per 100 square feet
Hospital services (outpatient)	1 space per bed patient capacity	1 space per bed patient capacity plus 1 per employee
Food utility services	See Schedule B	See Schedule B
Emergency residential care	1 space per 2 persons residential capacity	1 space per 2 persons residential capacity
Maintenance and service facilities	See Schedule A	See Schedule A
Mental health	See Schedule B	See Schedule B
Infirmary/inpatient	See Schedule B	See Schedule B
Physical and recreation services	See Schedule B	See Schedule B
Postal facilities	See Schedule A	See Schedule A
Primary educational facilities	1 space per employee on largest shift, plus 1 space per 25 students	1 space per employee on largest shift, plus 1 space per 25 students
Public assembly	1 space per 3 persons capacity	1 space per 3 persons capacity
Religious assembly	1 space per 3 persons capacity or (largest) place of public assembly	1 space per 3 persons capacity or (largest) place of public assembly
Safety services	See Schedule B	See Schedule B
Secondary educational facilities	1 space per employee on largest shift, plus 1 space per 25 students in 10th, 11th and 12th grades	1 space per employee on largest shift, plus 1 space per 25 students in 10th, 11th and 12th grades
General offices	1 space per 400 square feet	1 space per 150 square feet
Financial services	1 space per 100 square feet	1 space per 100 square feet
Medical offices	1 space per 100 square feet	1 space per 150 square feet
Commercial Use Types	Minimum Required Parking	Maximum Permitted Parking

Schulzke C. Management centers are a multifamily residential unit with concierge, retail, and support services, for a maximum capacity of 100 occupied units (at least one 11 person lounge/dining area, one kitchen, one or other such facilities available individually to individual owners or a specially limited number of specific long-term tenants) and an agency of federal, state or local government. Furthermore, such a complex is limited to one (1) allocated parking space per (100) dwelling unit in a month maximum of one (1) off-street parking space per (100) dwelling units. Also, additional parking and land may be available for the use of the complex. Since conversions to second multifamily residential use will comply with Section 103(a)(1) of 11.04, any change in use will require a citywide and statewide compliance responses.

C. DISCUSSION ITEMS

2. ENHANCEMENTS AND IMPROVEMENTS (Continued)

- Table of Uses (Additions)

Effective Date: April 15, 2015

Last Update: June 20, 2025 **DRAFT**

Appendix 1: Official Table of Uses

City of Shelbyville
Municipal Zoning Ordinance

Land Use	R-1	R-2	R-3	R-3A	R-4	C-1	C-2	C-3	I-1	I-2	I-3	Supplementary Regulations	Article/Section Reference
Residential Activities (Permanent)													
Accessory Dwelling/Apartment	P	P	P									YES	Art. VI, Sec. 6.4 (f)
Double Wide Mobile Home	P	P	P										
Duplex			P	P	P								
Upper Story Residential (C-1 Zone District Only)						P						YES	Art. IV, Sec. 4.12(D) Art. VI, Sec. 6.4(f)
Multi-Family					P	P							
Multi-Family (Maximum 3 Units Per Building)				P	P								
Multi-Family (Maximum 4 Units Per Building)				P	P								
Single Family Detached	P	P	P										
Single Family Attached	P	P	P										
Single Wide Mobile Home	Allowed in Mobile Home Parks only											YES	Art. V, Sec. 5.4.4
Residential Activities (Semi-Permanent and Transient)													
Bed and Breakfast Facilities	SE	SE	SE	SE	SE							YES	Art. VI, Sec. 6.4 (E)
Boarding House					P								
Hotels, Motels					P	P	P		P				
Rooming House					P								
Sporting and Recreational Vehicle Camps (Commercial Camp Grounds)					SE								
Tourist Homes or Courts					SE								
Agricultural Services and Activities													
Animal/Offal Processing									P	P			
Crop Drying, Storage, and Processing Services									P	P			
Crop Planting, Cultivating, and Protection Services									P	P			
Farm Supply- Raw Materials									P	P			
Feed Lots											P	YES	Art. VI, Sec. 6.4 (F)
Horticultural Services									P	P			
Soil Preparation Services									P	P			
Stockyards											P	YES	Art. VI, Sec. 6.4 (F)
Animal Services and Activities													
Kennels/Stables						SE	SE	SE	P	P			
Large/Exotic Animal Training									P	P			
Small Animal Training						SE	SE	SE	P	P			
Veterinary Clinics (large/exotic animal)						SE	SE	SE	P	P	P	YES	Art. VI, Sec. 6.4 (F)
Veterinary Clinics (small animal)						P	P	SE	P	P		YES	Art. VI, Sec. 6.4 (F)

KEY:

P - Use Permitted SE - Use Permitted by Special Exception

NO ABBREVIATIONS - Land Use is Not Permitted

C. DISCUSSION ITEMS

2. ENHANCEMENTS AND IMPROVEMENTS (Continued)

- Table of Uses (Additions)

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Municipal Zoning Ordinance

Land Use	R-1	R-2	R-3	R-3A	R-4	C-1	C-2	C-3	I-1	I-2	I-3	Supplementary Regulations	Article/Section Reference
Group Assembly - Indoor and Outdoor													
Amusement, Recreation, and Entertainment Services													
Amusement Parks (indoor)						P	P		P	P	P		
Amusement Parks (outdoor)						P	P		P				
Banquet Facilities						P	P						
Commercial Resorts						P	P		P		P		
Commercial Sports Arenas (indoor)						P	P		P		P		
Commercial Playing Fields (indoor)					P	P	P	P	P				
Commercial Sports Arenas(outdoor)						P	P		P				
Commercial Playing Fields (outdoor)					P	P	P	P	P				
Natural and Other Recreational Parks	P	P	P	P	P	P	P	P	P	P	P		ADO Supplemental 200
Race Tracks (Auto, Motorcycle, and Animal)						P	P		P	P	P		
Indoor Shooting Ranges							SE		P	P	P	YES	Art. VI, Sec. 5.4(A) Art. VII, Sec. 7.3(b)
Outdoor Shooting Ranges													
Educational Facilities													
Colleges and Universities					P	P	P		P	P	P		
Primary and Secondary Schools					P	P	P						
Schools for Profit					P	P	P	P	P	P	P		
Technical and Trade Schools					P	P	P		P		P		
Medical/Personal Care Facilities													
Associations for Physically or Mentally Handicapped Persons					P	P	P						
Center for Observation and Rehabilitation					P	P	P		P				
Hospitals						P	P		P				
Day Care Centers					P	P	P					YES	Art. VI, Sec. 5.4(C)
Family and Group Care Facilities					P	P	P	P	P			YES	Art. VI, Sec. 5.4(D)
Family Day Care Homes (Limited Child Care) Under 12	P	P	P	P	P	P	P					YES	Art. VI, Sec. 5.4(B)
Nursing Homes					P	P	P						
Assisted Living Facilities			SE	SE	SE	SE	SE						
Religious Facilities													
Churches/Chapels	P	P	P	P	P	P	P	P	P	P	P		
Mosques	P	P	P	P	P	P	P	P	P	P	P		
Convents/Monasteries	P	P	P	P	P	P	P	P	P	P	P		
Sanctuaries	P	P	P	P	P	P	P	P	P	P	P		

KEY:

P - Use Permitted SE - Use Permitted by Special Exception

NO ABBREVIATIONS - Land Use is Not Permitted

Page 6 of 9

Effective Date: April 15, 2015
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Appendix 1: Official Table of Uses

City of Shelbyville
Municipal Zoning Ordinance

Land Use	R-1	R-2	R-3	R-3A	R-4	C-1	C-2	C-3	I-1	I-2	I-3	Supplementary Regulations	Article/Section Reference
Clothing Repair and Rental						P	P	P					
Convenience Markets where gasoline may be sold						P	P	P				YES	Art. VI, Sec. 5.4 (I)
Dairy Products						P	P	P					
Drug Stores						P	P	P					
Electronic Goods and Appliances						P	P						
Farm Equipment and Supplies						P	P			P			
Feed Sales						P	P			P			
Florists						P	P	P					
Fruit Stores						P	P	P					
Funeral and Crematory Services (Undertaking Services)						P	P						
Furniture and Home Furnishings						P	P						
Gasoline Service Stations						P	P	P	P			YES	Art. VI, Sec. 5.4 (I)
General Variety						P	P	P					
Groceries and Related Products						P	P						
Gymnasiums/Exercise Facilities (Private/Non-Profit)					P	P	P	P					
Hardware Stores						P	P						
Hardware, Plumbing, Flooring and HVAC Sales/Supplies						P	P			P			
Hat Cleaning Shops						P	P						
Health Spas						P	P						
Heating, Plumbing, and Electrical Supplies						P	P			P			
Hobby, Toy, and Game Stores						P	P	P					
Laundry, Cleaning and Garment Services						P	P	P	P				
Lawn and Garden Supply Stores						P	P	P					
Liquor Stores						P	P	P					
Lumber Yards						P	P			P	P		
Machinery, Equipment, and Supplies						P	P			P			
Meat and Fish Markets						P	P						
Mobile Food Services						P	P	P	P	P	P		ADO Supplemental
News Stands						P	P	P					
Paints, Varnishes, and Supplies						P	P	P					
Paper and Paper Products						P	P			P			
Photographic Studios						P	P	P					
Retail Nurseries						P	P	P			P		
Seed Storage and Sales						P	P			P			
Shoe Repair Shops						P	P	P					
Taxidermy						P	P						
Tobacco and Tobacco Products						P	P	P					
Vegetable Markets						P	P	P					

KEY:

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NO ABBREVIATIONS - Land Use is Not Permitted

Page 6 of 9

C. DISCUSSION ITEMS

2. ENHANCEMENTS AND IMPROVEMENTS (Continued)

- Definitions (In addition to *Critical Lots*)

DEFINITION UPDATES. ¶

A. Development—CURRENT LANGUAGE ¶

DEVELOPMENT: The division of a parcel of land into two (2) or more parcels; the construction, reconstruction, renovation, conversion, structural alteration, relocation, or enlargement of any buildings or structures; any use or change in use of any buildings, structures or land; any extension of any use of land; or any clearing, grading or other movement of land, for which permission may be required pursuant to this ordinance. This term shall also relate to the consolidation of tracts. ¶

Proposed Changes. ¶

Development: Any human change to improved or unimproved real estate, including, but not limited to, division of parcels, the erection, placement or modification of buildings or other structures, mining, dredging, filling, grading, paving, excavation, or drilling operations, or storage of equipment or materials, or the establishment, change, or expansion from a lower to higher intensity of use on a site, parcel, or tract of land. ¶

Development, low intensity: Land uses that have fewer impacts from density or uses (i.e., natural open spaces or areas or vacant land, single family). ¶

Development, high intensity: Land uses with higher impacts from density or uses (i.e., multi-family, industrial, commercial uses). ¶

[Identify threshold where a change in use requiring additional parking, SWM, etc., requires development approval by PC] ¶

B. Mobile Food Services—CURRENT LANGUAGE—NONE ¶

Proposed Changes. ¶

Mobile Food, Services: Mobile food service establishment is a self-contained food service operation, located in a vehicle, movable stand, self or otherwise propelled, used to store, prepare, display, or serve food intended for individual portion service. ¶

Mobile Food, Vehicle: A mobile food service establishment that is located upon a vehicle including cars, trucks, carts, motorcycles and bicycles, or which is pulled by a vehicle, where food or beverage is cooked, prepared, or served for individual portion service. As defined herein, mobile food vehicles includes but is not limited to mobile food kitchens, pushcart vendors, bicycle cart vendors, mobile food trucks, canteen trucks, and coffee trucks. ¶

Mobile Food, Trailer: A mobile food establishment that is less than 20 feet long by eight feet wide and is designed to be towed behind a vehicle and capable of vending foods without being connected to another vehicle. ¶

Mobile Food, Cart: A mobile food establishment that is up to ten feet long and five feet wide and is designed to be pushed by hand or pedaled. ¶

C. Short-Term Rental—CURRENT LANGUAGE—NONE ¶

Short-Term Rental: The primary, accessory, or secondary use of a residential dwelling unit or a portion thereof by the owner or a host to provide room or space that is intended to be occupied for a period of fewer than 30 consecutive days. ¶

Also reference the State of Tennessee Public Chapter 972, Acts of 2018, also known as the "Short-Term Rental Unit Act" and codified in the Tennessee Code Annotated ("T.C.A.") § 13-7-601, § 13-7-602, and § 13-7-603. ¶